

College Park Development Update

March 2014



College Park Place - DSP-12034
8315 Baltimore Avenue
Status: Building Permit Review

Building plans for the redevelopment of the former Koon's dealership were accepted for review by the County on February 28th. Depending on the length of that process, construction could begin this summer or fall.

The developer, Keane Enterprises, plans to construct a 156-room Courtyard Marriott hotel, 23,615 SF of retail, and a 275-space parking garage on the 3.13-acre site.

CVS will anchor the retail side, while the developer is seeking a restaurant for a portion of the remaining space.



MD Book Exchange - DSP-10028
7501 Baltimore Avenue
Status: Under Construction

The student housing development broke ground in fall 2013 and work is ongoing on the underground portion of the project. The development is expected to be completed by fall 2015.

The six-story building will include 287 units (maximum of 855 beds) and 13,844 SF of retail with the relocated Maryland Book Exchange serving as the anchor on the ground level.

Chicago-based CA Student Living recently acquired a stake in the project and will assume construction, leasing, and property management duties.



Monument Village - DSP-06095
9122-9128 Baltimore Avenue
Status: Amending Detailed Site Plan

The updated plan from Monument Realty for the 3.78-acre site was unanimously supported by the City Council on December 3rd by an 8-0 vote, but still awaits County approval.

The original plans included 220 apartments and 25,000 SF of retail, while the amended plan calls for 235 apartments (185 one-bed or studios and 50 two-beds) and a reduced retail component of 4,800 SF along Route 1.

A building permit application has been filed and construction could begin as soon as later this spring.

Contact Info:

Michael Stiefvater
Economic Development Coordinator
(240) 487-3543
mstiefvater@collegeparkmd.gov



A Smart Place to Live

Development Spotlight



Metropolitan - DSP-03098

9091 Baltimore Avenue

Status: Approved Detailed Site Plan

Across Route 1 from Monument Village, this long-dormant project is also back on track with Metropolitan Development Group taking control of the site and amending the plan.

The 4.22-acre site was originally slated for 160 apartments and over 40,000 SF of retail, while the amended plan calls for 238 apartments, 45 townhomes, and 4,133 SF of retail on Route 1.

In December, the plan was unanimously supported by the City Council and approved by the County Planning Board.

The vacant structure on the site was recently demolished as part of the City's Strategic Demolition Program, which was fully funded through a grant application. The City will continue the program and next demolish the vacant building at 9339 Baltimore, while an additional structure is considered along Route 1 with any remaining funds.

Knox Village - DSP-13025

Knox Road and Guilford Drive

Status: Approved Detailed Site Plan

With an appeal of their Planning Board approval filed in January, the redevelopment project faced another hurdle as Toll Brothers seeks to begin work this summer. However, the approval was affirmed by the Prince George's District Council on February 25th.

The plans to redevelop the Knox Boxes call for 445 units (1,575-1,582 beds) contained in a mix of apartments and townhomes split between seven buildings on the 6.20-acre site.

The project will also include 11,909-12,325 SF of retail, a 470-space parking garage, and a variety of community amenities including a pool, study rooms, and a central green.

The project is expected to begin with the demolition of the current units after the end of the spring semester. The anticipated opening date is the fall semester in 2016.



Current Development Projects

Cafritz Property - DSP-13009

Baltimore Avenue in Riverdale Park

Status: Under Construction

The mixed-use project on 37.55 acres of land was approved by Prince George's County on May 31st. The first phase includes a Whole Foods Grocery store, an additional 100,000 SF of retail, and 22,000 SF of office space. The second phase includes 981 residential units and a 120-room hotel.

Clearing of the site began in February and the contractor is currently installing erosion and sediment control.



TownePlace Suites - DSP-06018

9620-9624 Baltimore Avenue

Status: Approved Detailed Site Plan

The nearly \$6 million project by Baywood Hotels will consist of a 75-room extended stay hotel that will be operated by Marriott. Features include a fitness center and pool.

With their plan approved in December, construction is expected to begin this summer and take approximately one year.



Litton Technology Center (M Square)

52nd Avenue off Paint Branch Parkway

Status: Approved Prelim. Plan of Subdivision

Submitted by COPT and the University of Maryland as an addition to the research park, the approved plan creates additional lots for development of 4 four-story office buildings at approximately 120,000 square feet each and associated surface parking.

The next step is the submittal of a DSP.

4400, 4500, & 4600 River Road - DSP-09028

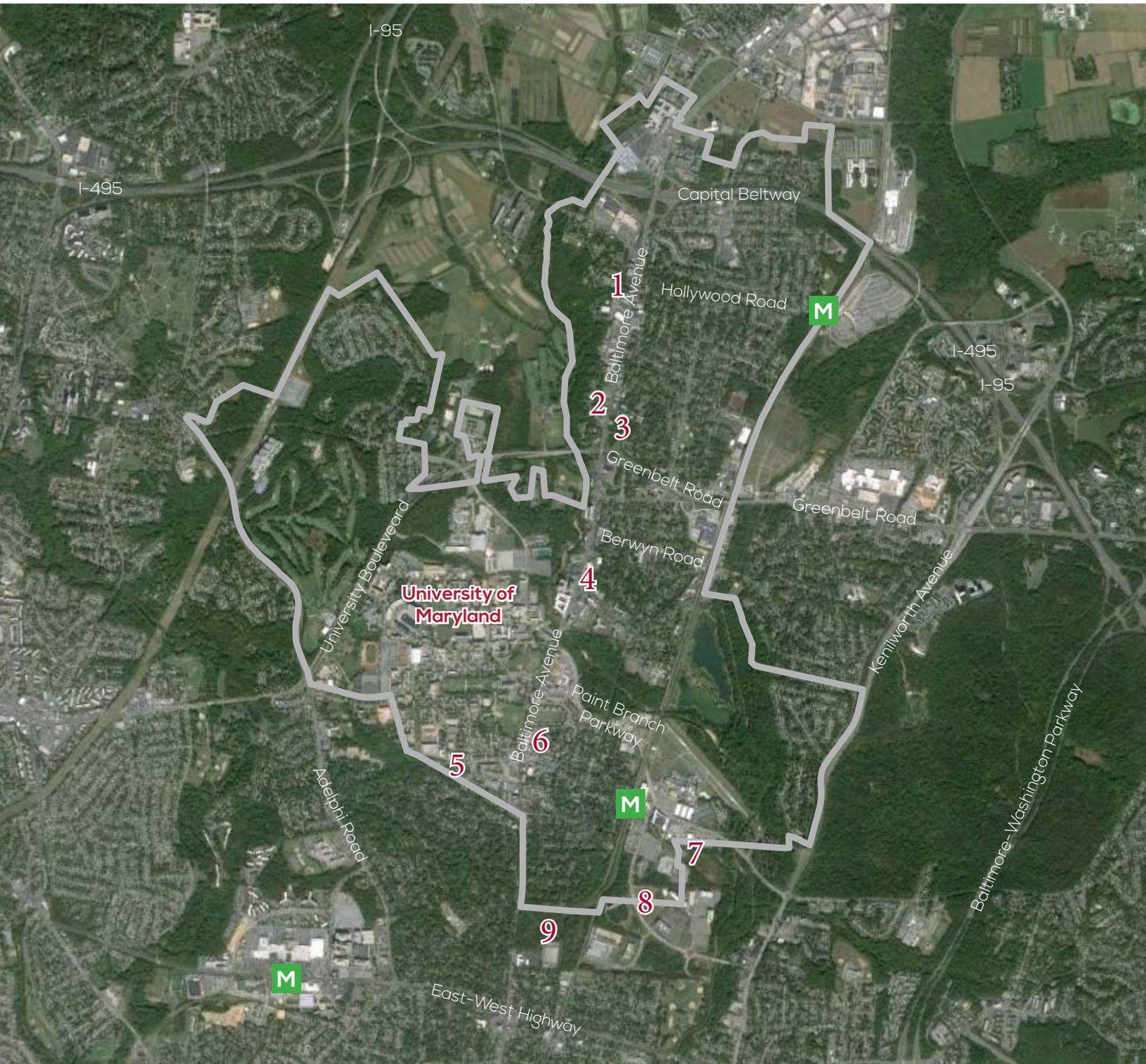
M Square Research Park

Status: Approved Detailed Site Plan

This project is being developed by COPT and the University of Maryland. It will consist of three 5-story, 150,000 square-foot buildings for general office and research use, surface parking lots, and a three-level parking garage. The County Planning Board approved the DSP on March 8, 2012.

The buildings are not scheduled to begin construction until tenants have been identified.

Development Map



- 1) **TownePlace Suites** - 9620-9624 Baltimore Ave
- 2) **Monument Village** - 9122-9128 Baltimore Ave
- 3) **Metropolitan** - 9091 Baltimore Ave
- 4) **College Park Place** - 8315 Baltimore Ave
- 5) **Knox Village** - Knox Rd and Guilford Dr

- 6) **Maryland Book Exchange** - 7501 Baltimore Ave
- 7) **Litton Technology Center** - 52nd Ave
- 8) **4400, 4500, and 4600 River Road** - M Square
- 9) **Cafritz Property** - Baltimore Ave in Riverdale Park

County Seeks Applications to Develop Metro Area

On March 13th, Prince George's County issued a Request for Applications to develop several parcels near the College Park - University of Maryland Metro Station. The vision for the 8.3 acres is an academic and technology oriented mixed-use community that takes advantage of access to the Metro Station, a proposed Purple Line station, and the University's M Square Research Park. In issuing the RFA, the County partnered with two adjacent landowners, the Washington Metropolitan Area Transit Authority and a private party that has assembled several parcels.

An optional pre-bid conference will be held in Largo on Monday, March 24th, while the closing date for applications is Thursday, April 24th.

If you would like to receive a copy of the full RFA please contact our office at 240-487-3543 or mstiefvater@collegeparkmd.gov.