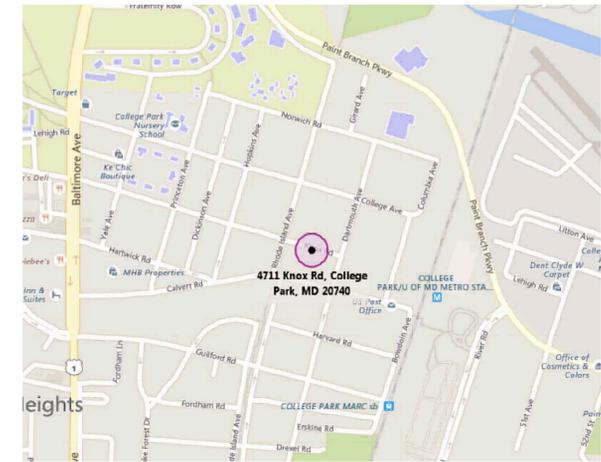


Repairs To: OLD PARISH HOUSE 4711 Knox Road College Park, Maryland 20740



THOMAS J. TALTAVULL
ARCHITECT
2060 PLUM CREEK COURT
GATHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No.9083, Expiration Date: 6-13-2016.

Professional Seal



PROJECT TITLE
NO SCALE

5

VINCINITY MAP
NO SCALE

6

General Notes

1. These drawings were from information made available to the Architect and Engineers. At existing areas, the drawings show the general location of various building components and equipment which were shown on original drawings.
2. All work shall be done in strict accordance with all applicable codes, ordinances, regulations and any additional requirements so stated by any law, ordinance or regulation pertaining to construction within the said limits of the authority (City, County, State or Federal) having jurisdiction.
3. The Contractor is responsible for examining all conditions and becoming thoroughly acquainted with the existing conditions prior to preparing bids for the work.
4. All construction shall be accomplished in compliance with Occupational Safety and Health Act and all other applicable rules and regulations. It shall be the contractor(s) responsibility to comply with all such laws and regulations.. Contractor shall check with MISS UTILITY before starting work.
5. The Contractor shall make all shut-offs and cap all utility lines required to complete the work.
6. The contractor shall provide all necessary covers, barricades, fire rated temporary partitions, railings, fencing to protect the building from weather, damage to materials, and to provide public safety. Provide all necessary cover to prevent the spread of dust and dirt.
7. It shall be the Contractor's responsibility to provide all bracing, and shoring to protect the structure until all materials and construction can be put in place.
8. The Contractor is responsible for staking and laying out all work and for the coordination of all installations allowing adequate space for other equipment, piping, wiring, hvac equipment, etc.
9. Where applicable, details and notes shown in any section apply to all similar sections unless noted otherwise.
10. All materials, components, systems and interior and exterior finishes shall be installed, assembled, operated and or applied in strict accordance with the drawings and specifications and the manufacturers' printed specifications, recommendations and or instructions for intended purposes as recommended by the manufacturer. Failure to comply with the manufacturer's recommendations or to report any conflicts between the drawings and the manufacturer's recommendations prior to the start of work shall act as a waiver to any claim by the Contractor(s) for any additional expense made necessary by the work.
11. The drawings of various disciplines in the Construction Documents are complimentary to one another. All drawings shall be utilized and referred to prior to starting and doing the performance of work in any space.
12. The Contractor shall verify and field check all dimensions including material thickness and clearances, structural conditions, mechanical, plumbing and electrical installations and make such modifications, relocation and or re-routing necessary, including required temporary utilities, to complete installations conforming to the Contract Documents.
13. The Contractor shall review all drawings and specifications for any conditions that may affect the work and shall report to the Architect any conditions or discrepancies, or request clarification, prior to the start of any work. Failure to report such conditions or discrepancies, or to request clarification prior to the start of any work, is a waiver to any claim by the Contractor(s) for additional expenses made necessary by reason of interpretation of the drawings.
14. No modifications, relocation, etc. shall be made which inhibit or interfere with the intended uses of the spaces nor shall any installations be exposed which are intended to be concealed without prior approval in writing from the architect or Owner.
15. Verifications and coordination will be accomplished with such timing so that there is no delay in completing all work on schedule.
16. The Contractor shall notify the Owner and/or Architect of any major deviations or differences in conditions of the work that would materially affect the quality of the work and/or completion of the Contract.
17. At the Architect's discretion, repair, and / or replace any construction materials, equipment, etc. damaged during or by construction activities. Replacement shall match original in quality and appearance.
18. All work indicated is new unless noted as existing to remain.

MARYLAND REHABILITATION CODE & BY REFERENCE:

IECC INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION

IN ADDITION TO THE IECC THE FOLLOWING CODES AND STANDARDS SHALL APPLY:

ICC INTERNATIONAL BUILDING CODE, 2015 EDITION (IBC) WITH LOCAL AMENDMENTS

ICC INTERNATIONAL MECHANICAL CODE, 2015 EDITION (WITH LOCAL AMENDMENTS) (IMC)

NFPA 70 - NATIONAL ELECTRICAL CODE, 2014 EDITION and Subtitle 2, Group14B and Subtitle 9

NFPA - 101 - LIFE SAFETY CODE, 2015 EDITION Subtitle 11 Prince George's County Fire Safety Code Subtitle 4 Prince George's County Building Code

MARYLAND ACCESSIBILITY CODE & BY REFERENCE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA)

USE AND OCCUPANCY GROUP:

USE: A-3 Assembly, CHAPTER 3 (IBC) - Community Hall

CONSTRUCTION TYPE: V B Building meets all requirements of this construction type. CHAPTER 6 (IBC)

BUILDING HEIGHT :

ALLOWABLE HEIGHT = 40 FEET - 1 STORIES CHAPTER 5 (IBC)

ACTUAL HEIGHT = 16' ± FEET , 1 STORY

BUILDING AREA:

	EXISTING	PROPOSED
FIRST FLOOR AREA	2045 SF	2045 SF

ALLOWABLE AREA PER FLOOR FOR NON SPRINKLERED BUILDING = 6000 SF

ACTIVE FIRE PROTECTION:

SPRINKLER PROTECTION:
The Existing Building is NOT protected with a sprinkler system.

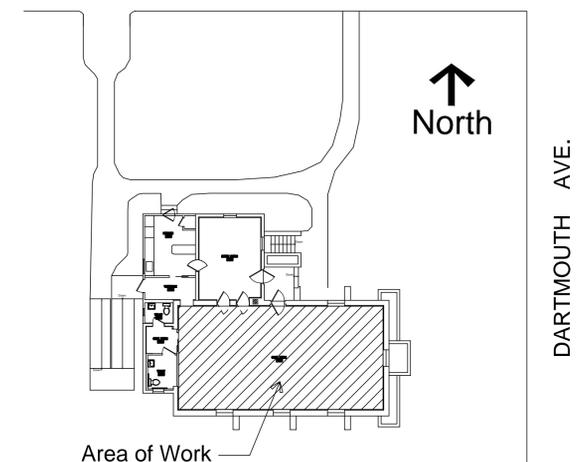
SCOPE OF WORK:

A3 -Assembly - Existing Community Building. Interior structural alterations to existing roof framing at Main Club Room to correct unsafe framing. Removal of existing 12" x 12" acoustic ceiling tiles and batt insulation. Installation of new wood ceiling and new R49 batt insulation. Removal and replacement of insulation in crawl spaces.

BUILDING INFORMATION

SCOPE OF WORK	OWNER'S SCOPE OF WORK IS TO REINFORCE EXISTING ROOF FRAMING AT MAIN CLUB ROOM TO CORRECT DEFICIENT ROOF FRAMING SYSTEM. REINSTALL ORIGINAL WOOD CEILING AND TRIM AND NEW BATT INSULATION.	
JURISDICTION	PRINCE GEORGE'S COUNTY, MARYLAND	
	EXISTING BUILDING	PROPOSED ALTERATION
HIGH RISE (IBC 202)	NO	NO
OCCUPANCY CLASSIFICATION (IBC 302)	(A-3)	A-3
COVERED MALL (IBC 402)	NO	NO
MIXED USE AND OCCUPANCY (IBC 508)	NON SEPERATED	NON SEPERATED
TYPE OF CONSTRUCTION (IBC 602)	VB	VB
FIRE ALARM SYSTEM	NO	NO
FLOOR AREA	2045 SF	2045 SF
FULLY SPRINKLERED & MONITORED	NO	NO
NUMBER OF STORIES	1 ON GRADE	1 ON GRADE

KNOX ROAD



KEY PLAN
NO SCALE

4

Revisions

Drawing Title

Date: Oct. 19, 2016

- CS1.0 COVER SHEET, INDEX, GENERAL NOTES,
- A0.1 SPECIFICATIONS
- A1.0 FIRST FLOOR PLANS
- A1.1 BASEMENT / CRAWL SPACE FLOOR PLANS
- A2.0 EXISTING BUILDING SECTION
- A3.0 PROPOSED BUILDING SECTION
- S1 GENERAL STRUCTURAL NOTES, ROOF FRAMING PLAN
- S2 ROOF FRAMING BUILDING SECTION

Repairs to :
OLD PARISH HOUSE
City of College Park
4711 Knox Rd,
College Park, MD 20740

Drawing Number

CS1.0

GENERAL NOTES
NO SCALE

3

CODE DATA
NO SCALE

2

DRAWING INDEX
NO SCALE

1

DIVISION 1: GENERAL REQUIREMENTS

- 1.1 The Project consists of the interior rehabilitations to the Old Parish House located at 4711 Knox Road, College Park, Maryland 20740 as shown on the Contract Documents prepared by Thomas J. Taltavull, Architect dated October 19, 2016.
1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractors or subcontractors operations under the contract.
1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
1.3 Licensure: The Contractor and all subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the property.
1.4 Permits: Building permit shall be obtained by Contractor. All other permits (Trade) shall be obtained by Contractor.
1.5 Warranty: All workmanship and materials shall be guaranteed for a period of one year from the date of final inspection.
1.6 Interpretation: The Architect shall be the interpreter of the requirements of the contract Documents. If the contractor or subcontractor has any question about the meaning of the drawings or specifications for the work, or should he find any discrepancy or omission therein, the Contractor / Subcontractor shall immediately notify the Architect.
1.7 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. NO DRAWINGS SHALL BE SCALED. Use indicated dimensions only. Where dimensions of small scale drawings and detail drawings differ, abide by the detailed drawings. Dimensions shown in nominal sizes are for the purpose of describing the construction and are not to be taken as the actual size of the component. Plan dimensions which describe framing locations are given to the face of stud unless noted otherwise.
1.8 Building Protection: All precautions shall be taken by contractor and subcontractors to protect existing finishes to remain for the period of construction. Any damage shall be rectified by the responsible contractor/subcontractor prior to completion of work.
1.9 Debris: All contractors/subcontractors shall at regular intervals, remove all their respective construction debris from the site and shall not allow such debris to drift, be blown or otherwise be transported onto adjacent properties. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
1.10 Codes: All construction to in accordance with the International Building Code (2015 edition) and in accordance with all applicable City, County, State and Federal rules and regulations (including local amendments to model code).
1.11 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
1.12 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
1.13 Claims for Extra Work: If the Contractor and or Subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
1.14 Allowances: None
1.15 Miss Utility: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800- 257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.
1.16 Definitions: The contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
1.17 Construction: by Owner or by Separate Contractors: The Owner reserves the right to perform construction or operations related to the project with the Owner's own forces. The contractor shall provide the Owner and separate contractor's reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided with the agreement between the Owner and the Contractor.
1.18 Temporary Utilities: Electricity shall be provided to the General Contractor from the existing building. The General Contractor shall be responsible for providing and maintaining any telephone, porta potty and any temporary heat.
1.19 Coordination between Drawings and specifications: Should any conflict exist between the drawings and specifications on Drawings, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the contractor shall apply appropriate credit to the Owner under the contract.
1.20 Owner provided Items: Not applicable
1.21 Contractor shall submit to the architect a "Schedule of Values" along with a "Construction Schedule" and Certificates of Insurance prior to the start of construction. Use AIA Document G702 as the form, or basis for, Applications for Payment. Submit requests for payment once a month.

- 1.22 Submit Final Payment Application after Final Inspection, submittal of Sub-Contractor List, delivery of warranties and maintenance agreements, receipt of as-built drawings, final project and site cleaning, completion of items specified on "punch list", submission of proof that taxes, fees or other obligations have been paid, and full release of liens from General Contractor and all applicable Sub-Contractors.
1.23 The Owner's written authorization shall be required before any work is performed or materials ordered which involve additional cost over and above the original contract sum. Submit proposals for changes to the work that affect the Contract Sum or Time to the Architect in the form of Change Orders. There shall be no field changes to the contract documents unless authorized by the Architect.
1.24 Submit the following for Architect review and approval:
Shop Drawings will be required for the following items (but are not limited to): None
Product Data will be required for the following items (but are not limited to): Insulation Solid Wood Acoustic Ceiling, MDF Wood Bead Board Ceiling Acoustic Ceiling Tile Wood Beadboard and Wood Trim
Samples will be required for the following items (but are not limited to): Wood Acoustic Ceiling, MDF Beadboard Ceiling, Wood Beadboard & Acoustic Ceiling Tile
Approved samples should be kept on site for direct comparison to the installed item.
1.25 Work shall not commence until the Contractor has received Notice to Proceed from the Owner.
1.26 Information provided on these drawings related to existing conditions is based on available documents and limited field observation. The General Contractor shall verify all dimensions and all site conditions. All discrepancies shall be reported to the Architect or Structural Engineer before proceeding with the Work.
1.27 Not used
1.28 The General Contractor shall have a qualified superintendent on the job at all times during working hours in responsible charge of all building operations and construction procedures.
1.29 The Architect has the right to reject any unsatisfactory or unauthorized work done contrary to the intent of the construction documents. The rejected work shall be replaced, repaired or removed at the Contractor's expense. The Contractor shall repair any property damaged during the course of construction subject to the approval of the Owner.

DIVISION 6.0: CARPENTRY

- 6.1 Rough Framing: Design Live Loads, Design live loads are:
Floor live load100 psf
Wind90 mph
Ground Snow Load30 psf
Roofper code for drifting(30 psf min.)
Seismic design Category.....B
Loads greater than design live loads shall not be placed on the structure. It is the contractor's responsibility to determine allowable construction loads and to provide proper design and construction falsework, formwork, bracing, sheeting and shoring, etc.
6.2 All existing conditions shall be checked and verified in the field before construction is begun. Field measurements shall be made of adjoining construction relative to the proper installation of new work. All discrepancies shall be reported to the Architect prior to the start of construction.
6.3 Lumber (See also General Structural Notes)
6.3.1 All wood construction including lumber, connections, and details shall be in accordance with the requirements of the local building code and the current "National Design Specification" by the National Forest Products Association.
6.3.2 Use IBC 2015 Appendix for nailing schedule, unless noted otherwise

6.5 INTERIOR FINISH CARPENTRY

- PART 1 GENERAL
1.1 SUMMARY
A. Provide interior finish carpentry.
1.2 SUBMITTALS
A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
B. Samples: Submit two representative samples of each material specified indicating visual characteristics and finish. Include range samples if variation of finish is anticipated.
1.3 QUALITY ASSURANCE
A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
B. Standards: Architectural Woodwork Institute (AWI) 'Architectural Woodwork Standards.'
PART 2 PRODUCTS
2.1 MATERIALS
A. Interior Standing and Running Trim :
1. Wood Ceiling Boards: (Option 1)Species for Opaque Finish: Select Pine or better. Wood replacement Trim and T & G Ceiling Panel Boards to match existing as close as possible. Trim and ceiling materials based on profiles taken from Smoot Lumber Company, 6295 Edsell Road, Alexandria, Virginia 22312 703-823-2100.

PART 3 EXECUTION

- 3.1 INSTALLATION
A. Provide work to sizes, shapes, and profiles indicated. Install work to comply with quality standards referenced. Back prime work and install plumb, level and straight with tight joints; scribe work to fit.
B. Quality Standard: Install woodwork to comply with AWI standards for the same grade specified for type of woodwork involved. All wood flooring products be installed in accordance with the NWFA Installation Guidelines and all applicable manufacturer guidelines by a NWFACP Certified Installer, NWFA Member, or equivalent.
C. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction. Coordinate with work of other sections.
D. Comply with manufacturer's requirements for cutting, handling, fastening and working treated materials.
E. Repair minor damage, clean and protect.

END OF SECTION

DIVISION 7: THERMAL AND MOISTURE PROTECTION

- PART 1 GENERAL
1.1 SUMMARY
A. Provide thermal insulation and vapor retarders.
1.2 SUBMITTALS
A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
B. Submit for approval test reports.
1.3 QUALITY ASSURANCE
A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
PART 2 PRODUCTS
2.1 MATERIALS
A. Blanket/Batt Insulation:
1. Manufacturer: ; Johns Manville or Approved Equal
2. Application: Thermal insulation at attic ceiling, over heated spaces. R49 Kraft Faced insulation.
3. Application: Thermal insulation at crawl space & basement walls. R13 FSK25 FOIL FACED INSULATION .
B. Vapor Barrier:
1. Application: Vapor barrier sheet at crawl space floors. 6Mill Polyethylene
PART 3 EXECUTION
3.1 INSTALLATION
A. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction. Coordinate with work of other sections. Provide full thickness in one layer over entire area, tightly fitting around penetrations.
B. Install batt insulation into cavities indicated; provide uniform coverage at correct density and thickness.
C. Install vapor retarder over entire area of crawl space floor and elsewhere as indicated. Seal all seams and around perimeter and penetrations with "Gorilla" tape to form a continuous vapor retarder free of holes. Vapor barrier shall run vertical up masonry wall a minimum of 6" and be taped continuous.
D. Protect installed insulation and vapor retarder.
E. Seal ALL , mechanical, electrical and any penetrations through the building envelope.

END OF SECTION

SECTION 07900: JOINT SEALERS

- PART 1 GENERAL
1.1 SUMMARY
A. Provide joint sealers and fillers.
1.2 SUBMITTALS
A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
B. Samples: Submit two representative samples of each material specified indicating visual characteristics and finish. Include range samples if variation of finish is anticipated.
1.3 QUALITY ASSURANCE
A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
PART 2 PRODUCTS
2.1 MATERIALS
A. Exterior Joints in Vertical Surfaces, Silicone:
1. Materials: Two component silicone sealant.
B. Interior Joints, Limited Movement, Acrylic:
2. Materials: Acrylic-emulsion, ASTM C 834.

PART 3 EXECUTION

- 3.1 INSTALLATION
C. Examine substrate; report unsatisfactory conditions in writing. Beginning work means acceptance of substrates.
D. Provide sealants in colors as selected from manufacturer's standards.
E. Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction and with uniform appearance. Coordinate with work of other sections. Clean and prime joints, and install bond breakers, backer rods and sealant as recommended by manufacturers.
F. Depth shall equal width up to 1/2 inch wide; depth shall equal 1/2 width for joints over 1/2 inch wide.
G. Cure and protect sealants as directed by manufacturers. Replace or restore damaged sealants. Clean adjacent surfaces to remove spillage.

END OF SECTION

DIVISION 9 : FINISHES

SECTION 09 51 13 SUSPENDED CEILINGS

- PART 1 GENERAL
1.1 SUMMARY
A. Provide suspended ceilings and suspension systems.
1.2 SUBMITTALS
A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
B. Samples: Submit two representative samples of each material specified indicating visual characteristics and finish. Include range samples if variation of finish is anticipated.
C. Extra Stock: Submit extra stock equal to 2 percent of amount installed.
1.3 QUALITY ASSURANCE
A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
B. Performance: Fire, structural, and seismic performance meeting requirements of building code and local authorities. Acoustical performance based on project requirements.
PART 2 PRODUCTS
2.1 MATERIALS
A. Solid Wood Acoustical Ceilings (Option 2) Solid Wood Plank
1. Manufacturers: Armstrong or approved equal.
2. Panel Size: 3" nominal width
3. Panel Edge: Square.
4. Grid: Concealed clip fasteners.
5. Suspension System: Intermediate duty.
6. Auxiliary Materials:
a. Edge molding and trim.
b. Hold-down clips and impact clips.
c. Concealed acoustical sealant.
d. BioAcoustical Infill
B. Prefinished MDF Planks (Option 1B)
1. Manufacturers: Armstrong or approved equal.
2. Panel Size: 5" nominal width
3. Panel Edge: Beveled Tongue and Groove.
4. Grid: Concealed Easy Up clip fasteners.
5. Suspension System: 15/16" intermediate duty.
6. Color: Standard White or Field painted with Owner selected Paint Color.
7. Auxiliary Materials:
a. Edge molding and trim.
b. Hold-down clips and impact clips.
c. Concealed acoustical sealant.
C. Mineral Fiber Acoustical Ceilings: (Option 3)
1. Manufacturers: Armstrong or approved equal.
2. Panel Size: Impression 12 by 12 inches by 1/2" fissured.
3. Panel Edge: Beveled Tongue and Groove.
4. Grid: Concealed Easy Up System.
5. Suspension System: 15/16" Intermediate duty.
6. Auxiliary Materials:
a. Edge molding and trim.
b. Hold-down clips and impact clips.
c. Concealed acoustical sealant.
PART 3 EXECUTION
3.1 INSTALLATION
A. Install materials and suspension systems in accordance with manufacturer's instructions and recommendations, and ASTM C 636. Coordinate installation with location of mechanical and electrical work to ensure proper locations and anchorage.
B. Level ceiling to within 1/8 inch in 10 feet in both directions. Scribe and cut panels to fit accurately. Measure and layout to avoid less than half panel units.
C. Removal and reinstallation at existing ceilings: Remove and store materials for reuse when allowed. Handle with white gloves and avoid damaging corners and edges. Clean tiles and grid system, which have been removed. Provide additional materials to complete the work and to replace damaged existing materials. New materials shall match existing materials as approved.
D. Adjust, clean, and touch-up all system components.

END OF SECTION

SECTION 09910 PAINTS

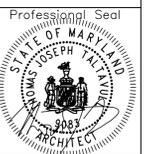
- PART 1 GENERAL
1.1 SUMMARY
A. Provide painting and surface preparation.
1.2 SUBMITTALS
A. Product Data: Submit manufacturer's product data and installation instructions for each material and product used.
B. Samples: Submit two representative samples of each material specified indicating visual characteristics and finish. Include range samples if variation of finish is anticipated.
1. Include manufacturers full range of color and finish options if additional selection is required
1.3 QUALITY ASSURANCE
A. Comply with governing codes and regulations. Provide products of acceptable manufacturers, which have been in satisfactory use in similar service for three years. Use experienced installers. Deliver, handle, and store materials in accordance with manufacturer's instructions.
B. Regulations: Compliance with VOC and environmental regulations.
PART 2 PRODUCTS
2.1 MATERIALS
A. Painting:
1. Manufacturers: Benjamin Moore & Co., Pratt & Lambert Paints, Sherwin Williams.
2. Application: Interior surfaces.
3. Primary Coating Type: Latex based paints.
4. Primary Paint Systems: Primer plus two finish coats.
PART 3 EXECUTION
3.1 INSTALLATION
A. Inspect surfaces, report unsatisfactory conditions in writing; beginning work means acceptance of substrate.
B. Comply with manufacturer's instructions and recommendations for preparation, priming and coating work. Coordinate with work of other sections.
C. At existing areas to be repainted, remove blistered or peeling paint to sound substrates. Remove chalk deposits and mildew and wash all surfaces with mild detergent. Perform related minor preparation including caulk and glazing compounds. Spot prime bare areas before priming and painting as specified.
D. Match approved mock-ups for color, texture, and pattern. Re-coat or remove and replace work which does not match or shows loss of adhesion. Clean up, touch up and protect work.
3.2 PAINT SCHEDULE
A. Wood for Painted Finish:
1. Gloss:
a. Semi
2. System:
a. 1 coat interior alkyd enamel undercoat
b. 2 coats latex enamel

END OF SECTION



THOMAS J. TALTAUVULL ARCHITECT 2060 PLUM CREEK COURT GATHERSBURG, MARYLAND 20822 301.840.1847

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No.9083, Expiration Date: 6-13-2016.



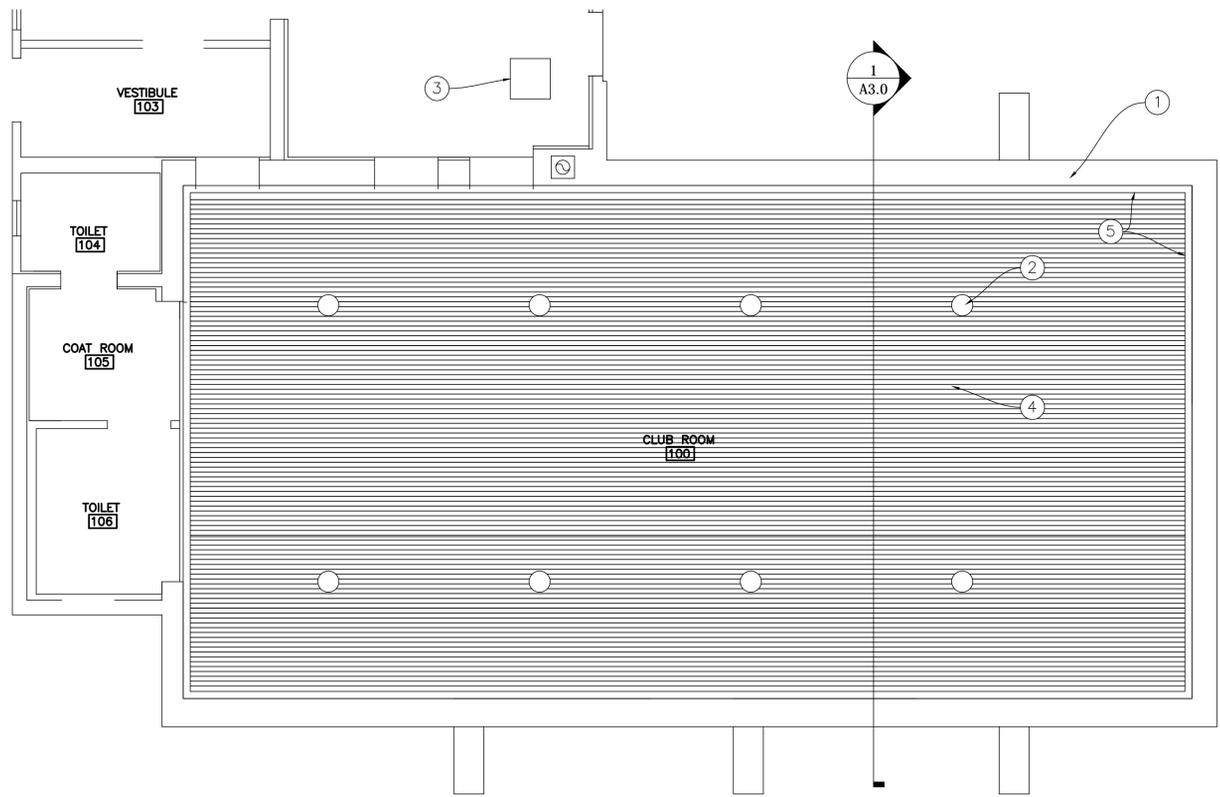
Revisions Drawing Title SPECIFICATIONS

Date: Oct. 19, 2016

Repairs to : OLD PARISH HOUSE City of College Park 4711 Knox Rd, College Park, MD 20740

Drawing Number

A0.1

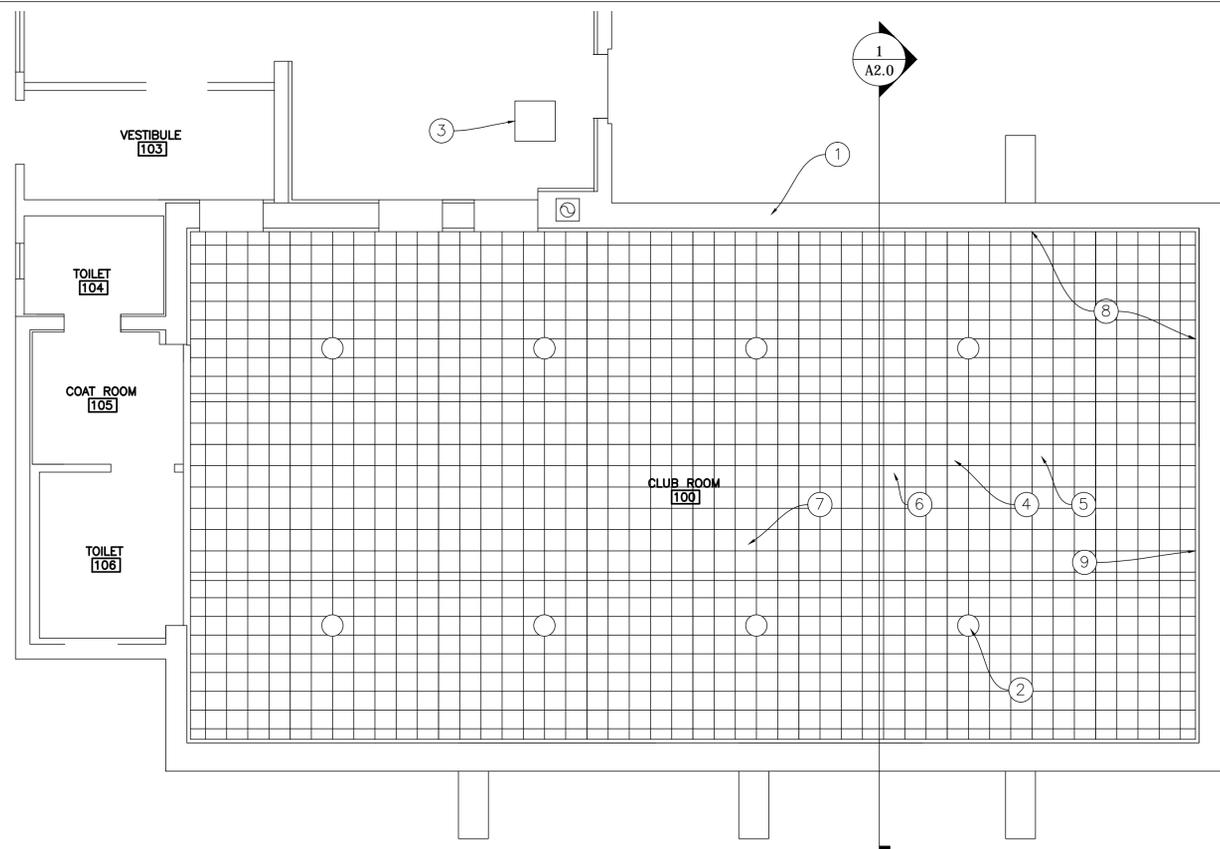


- PLAN NOTES:**
- ① EXISTING EXTERIOR WALL.
 - ② REINSTALL ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT TO BE CONCEALED.
 - ③ EXISTING ATTIC ACCESS PANEL.
 - ④ INSTALL NEW WOOD CEILING BOARDS TO MATCH ORIGINAL, PAINT, OR OWNER ACCEPTED BID ALTERNATE.
 - ⑤ REINSTALL ALL SALVAGED PERIMETER WOOD TRIM MOULDINGS PROVIDE NEW TRIM TO MATCH ORIGINAL WHERE REQUIRED.
 - ⑥ INSTALL A CEILING ACCESS PANEL IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAIL AND PRINTED INSTRUCTIONS IN LOCATION APPROVED BY OWNER.

PROPOSED FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1' - 0"

3



- PLAN NOTES:**
- ① EXISTING EXTERIOR WALL.
 - ② CAREFULLY REMOVE ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT. LIGHT FIXTURES WILL BE REUSED.
 - ③ EXISTING ATTIC ACCESS PANEL.
 - ④ REMOVE EXISTING 12" x 12" ACOUSTIC CEILING TILES AND STAPLES.
 - ⑤ CAREFULLY REMOVE EXISTING WOOD CEILING BOARDS LOCATED UNDER ACOUSTIC CEILING TILES AND SALVAGE AND STORE AT OWNER'S DIRECTION.
 - ⑥ REMOVE ALL CEILING INSULATION AT CLUB ROOM 100.
 - ⑦ REMOVE WOOD CEILING SUPPORT JOISTS. SEE SECTION A2.0
 - ⑧ CAREFULLY REMOVE ALL PERIMETER WOOD TRIM MOULDINGS AND SALVAGE FOR REUSE.
 - ⑨ REMOVE EXPOSED CONDUIT AT THIS LOCATION AND REINSTALL ABOVE NEW CEILING FRAMING.

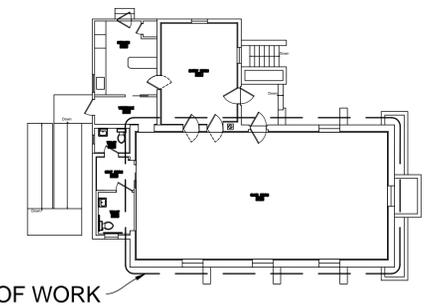
EXISTING FIRST FLOOR REFLECTED CEILING PLAN

1/4" = 1' - 0"

2

KEY PLAN

1/16" = 1' - 0"



AREA OF WORK

1

Revisions
Drawing Title
PLANS

Date: Oct. 19, 2016

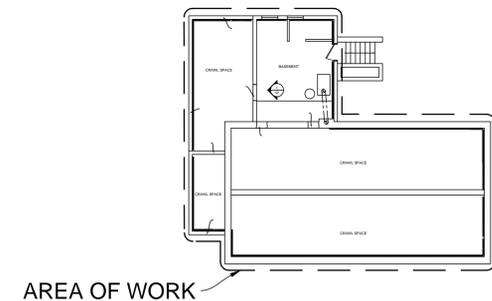
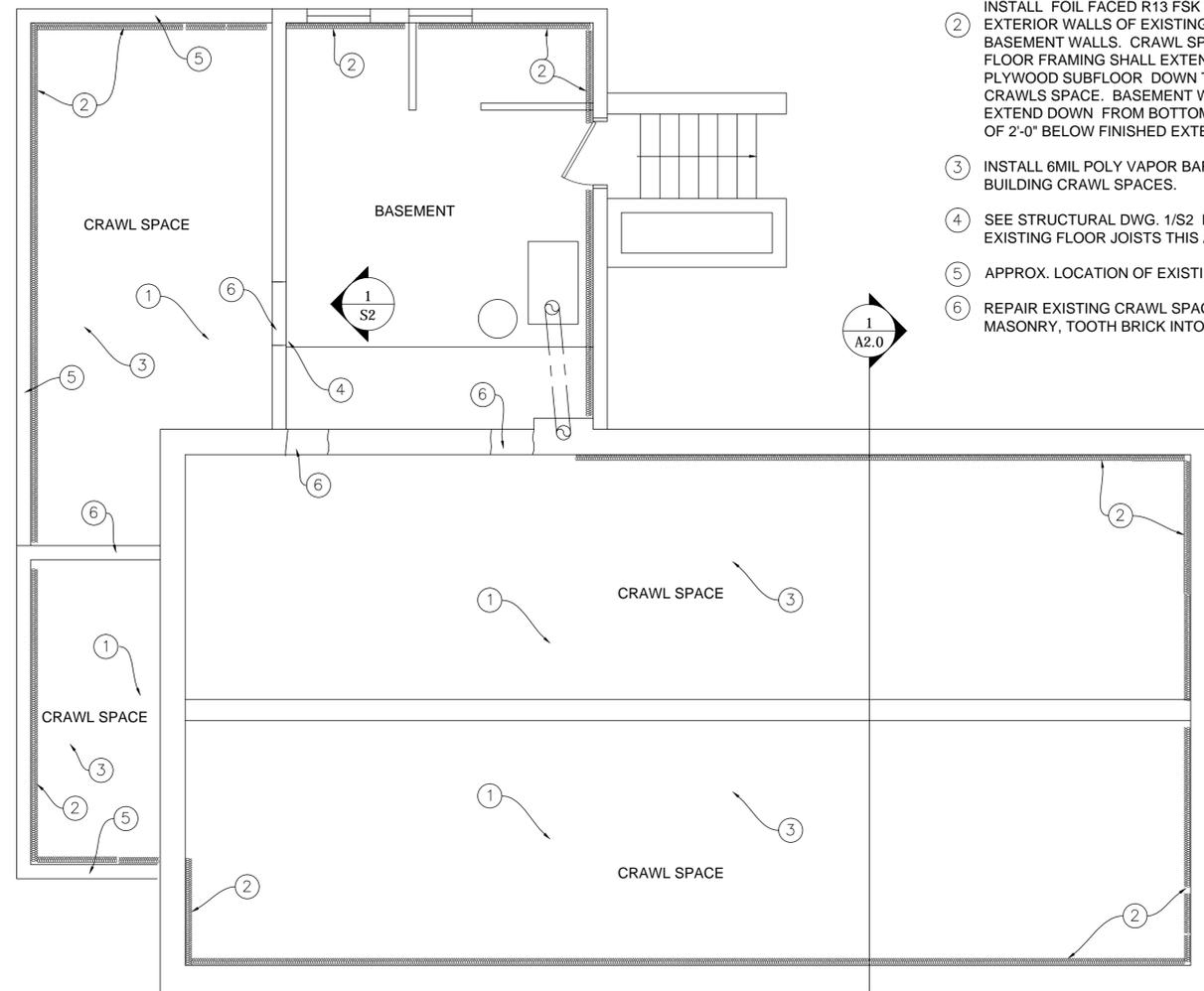
Repairs to :
OLD PARISH HOUSE
City of College Park
4711 Knox Rd,
College Park, MD 20740

Drawing Number

A1.0

PLAN NOTES:

- ① EXISTING INSULATION TO BE REMOVED IN ALL CRAWL SPACES. CONTRACTOR TO THOROUGHLY CLEAN OUT CRAWL SPACES COMPLETELY. REMOVE ALL WOOD BOARDS, LEVEL DIRT TO PREPARE GROUND FOR INSTALLATION 6 MIL POLY VAPOR BARRIER. CLOSE ALL EXISTING VENT OPENINGS WITH P.T.R. WOOD FRAME AND 3/4" PTR. PLYWD PANELS, CAULK AND PAINT.
- ② INSTALL FOIL FACED R13 FSK 25 BATT INSULATION AT ALL EXTERIOR WALLS OF EXISTING CRAWL SPACES AND BASEMENT WALLS. CRAWL SPACE INSULATION WITH WOOD FLOOR FRAMING SHALL EXTEND FROM BOTTOM OF PLYWOOD SUBFLOOR DOWN TO GRADE AT BOTTOM OF CRAWLS SPACE. BASEMENT WALL INSULATION SHALL EXTEND DOWN FROM BOTTOM OF SUBFLOOR TO A MINIMUM OF 2'-0" BELOW FINISHED EXTERIOR GRADE.
- ③ INSTALL 6MIL POLY VAPOR BARRIER THROUGHOUT ALL BUILDING CRAWL SPACES.
- ④ SEE STRUCTURAL DWG. 1/S2 FOR FRAMING REPAIR AT EXISTING FLOOR JOISTS THIS AREA.
- ⑤ APPROX. LOCATION OF EXISTING FOUNDATION VENTS.
- ⑥ REPAIR EXISTING CRAWL SPACE ACCESS OPENINGS WITH MASONRY, TOOTH BRICK INTO EXISTING WALL.

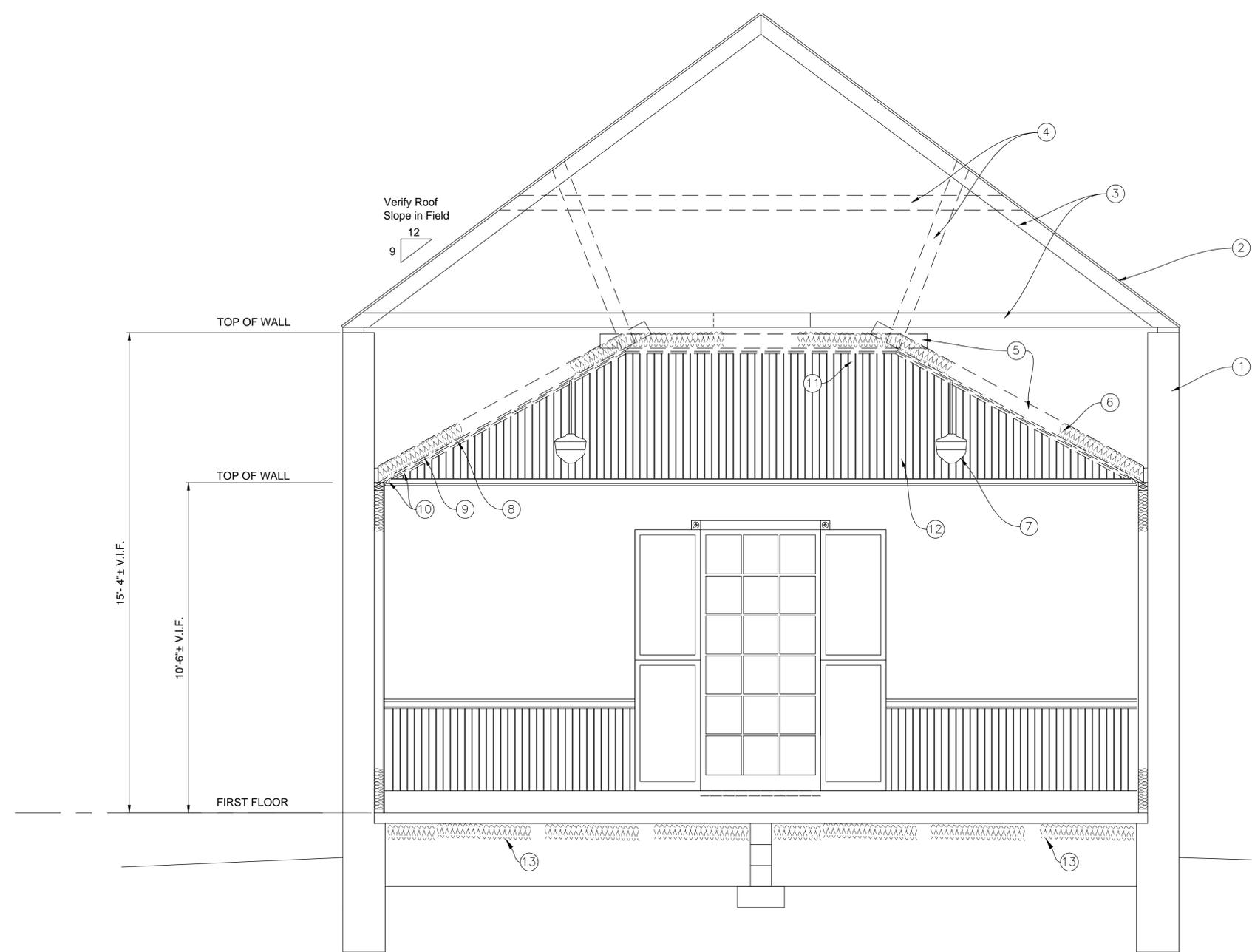


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EXISTING BASEMENT/ CRAWL SPACE PLAN
1/4" = 1' - 0"

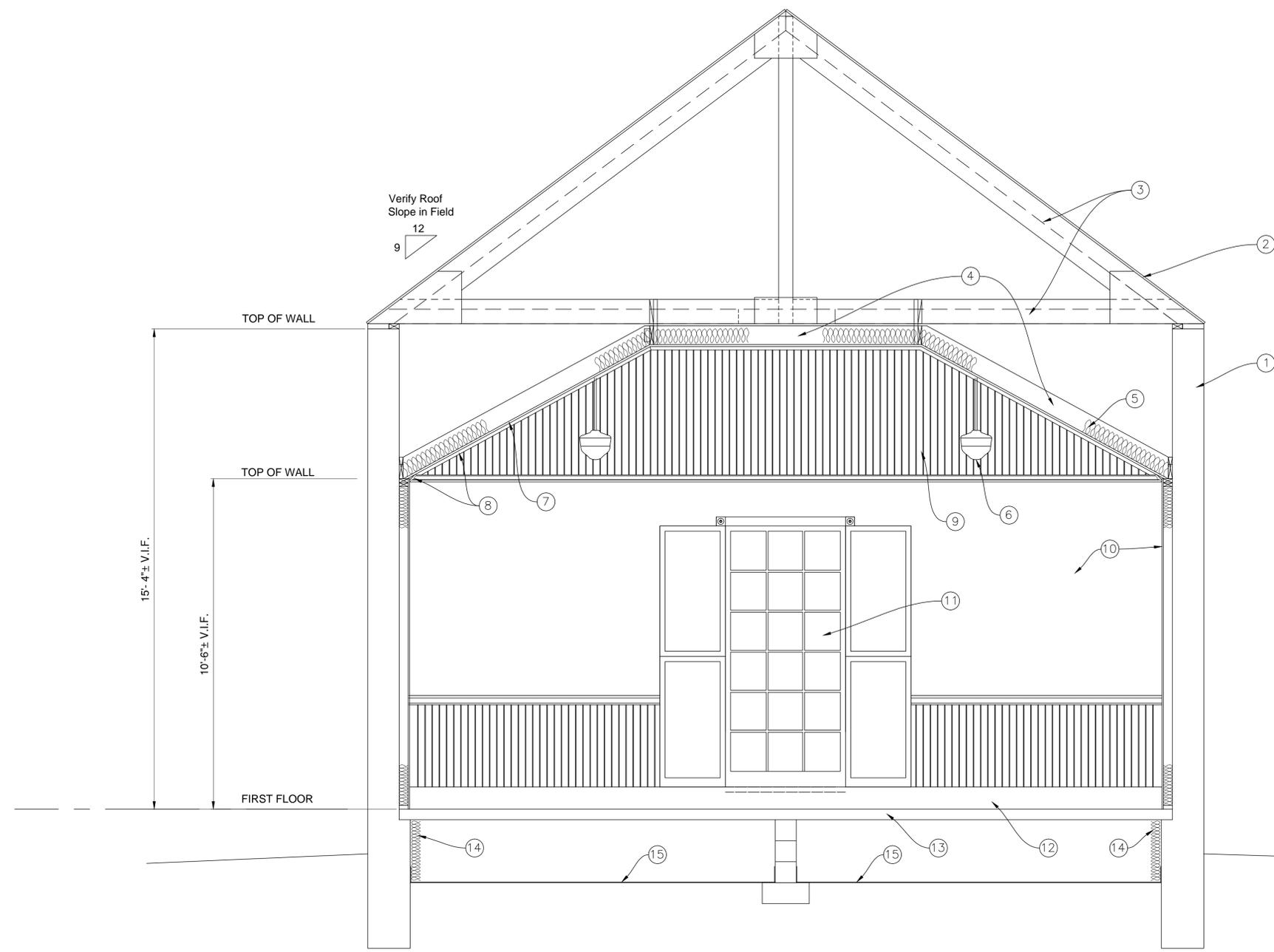
1 KEY PLAN
1/16" = 1' - 0"

2



SECTION NOTES:

- ① EXISTING EXTERIOR WALL.
- ② EXISTING ASPHALT SHINGLES OVER WOOD SHEATHING BOARDS TO REMAIN.
- ③ EXISTING RAFTERS AND CEILING JOISTS TO REMAIN.
- ④ EXISTING SUPPORT RAFTERS TO BE REMOVED.
- ⑤ EXISTING CEILING SUPPORT BOARDS TO BE REMOVED.
- ⑥ EXISTING INSULATION TO BE REMOVED.
- ⑦ CAREFULLY REMOVE ALL PENDANT LIGHT FIXTURES, WIRING AND CONDUIT. LIGHT FIXTURES WILL BE REUSED.
- ⑧ REMOVE EXISTING 12" x 12" ACOUSTIC CEILING TILES AND STAPLES.
- ⑨ CAREFULLY REMOVE EXISTING WOOD CEILING BOARDS LOCATED UNDER ACOUSTIC CEILING TILES AND SALVAGE AND STORE AT OWNER'S DIRECTION.
- ⑩ CAREFULLY REMOVE ALL PERIMETER WOOD TRIM MOULDINGS AND SALVAGE FOR REUSE.
- ⑪ REMOVE EXPOSED CONDUIT AT THIS LOCATION AND REINSTALL ABOVE NEW CEILING FRAMING.
- ⑫ EXISTING WOOD PANEL BOARDS TO REMAIN.
- ⑬ EXISTING INSULATION TO BE REMOVED IN ALL CRAWL SPACES. CONTRACTOR TO THOROUGHLY CLEAN OUT CRAWL SPACES COMPLETELY.



- SECTION NOTES:**
- ① EXISTING EXTERIOR WALL.
 - ② EXISTING ASPHALT SHINGLES OVER WOOD SHEATHING BOARDS TO REMAIN.
 - ③ EXISTING RAFTERS AND CEILING JOISTS TO BE REINFORCED. SEE STRUCTURAL SECTION1/S2.0.
 - ④ NEW 2 x 8 CEILING SUPPORT BOARDS, SEE STRUCTURAL DRAWINGS FOR DETAIL.
 - ⑤ NEW R49 KRAFT FACED FIBERGLASS BATT INSULATION.
 - ⑥ REINSTALL ALL PENDANT LIGHT FIXTURES. ALL WIRING AND CONDUIT TO BE CONCEALED.
 - ⑦ REINSTALL SALVAGED EXISTING WOOD CEILING BOARDS PROVIDE NEW BOARDS TO MATCH EXISTING EXACTLY AS REQUIRED TO COMPLETE CEILING FINISH. PAINT.
 - ⑧ REINSTALL ALL SALVAGED EXISTING PERIMETER WOOD TRIM MOULDINGS. PROVIDE NEW MOULDINGS TO MATCH EXISTING EXACTLY TO COMPLETE INSTALLATION, PAINT.
 - ⑨ EXISTING WOOD PANEL BOARDS TO REMAIN.
 - ⑩ EXISTING DRYWALL TO REMAIN.
 - ⑪ EXISTING WINDOW AND SHUTTERS TO REMAIN.
 - ⑫ EXISTING HOT WATER BASEBOARD HEATING UNITS TO REMAIN.
 - ⑬ EXISTING CONCRETE SLAB.
 - ⑭ NEW R13 FSK25 FOIL FACED INSULATION AT EXISTING CRAWL SPACE WALLS.
 - ⑮ 6 MILL POLY VAPOR BARRIER OVER LEVELED CRAWL SPACE DIRT FLOOR, LAP JOINTS MIN. 6" AND TAPE SEAMS. EXTEND VAPOR BARRIER UP FOUNDATION WALLS MIN. 6".

Revisions
Drawing Title
SECTION

Date: Oct. 19, 2016

Repairs to :
OLD PARISH HOUSE
City of College Park
4711 Knox Rd,
College Park, MD 20740

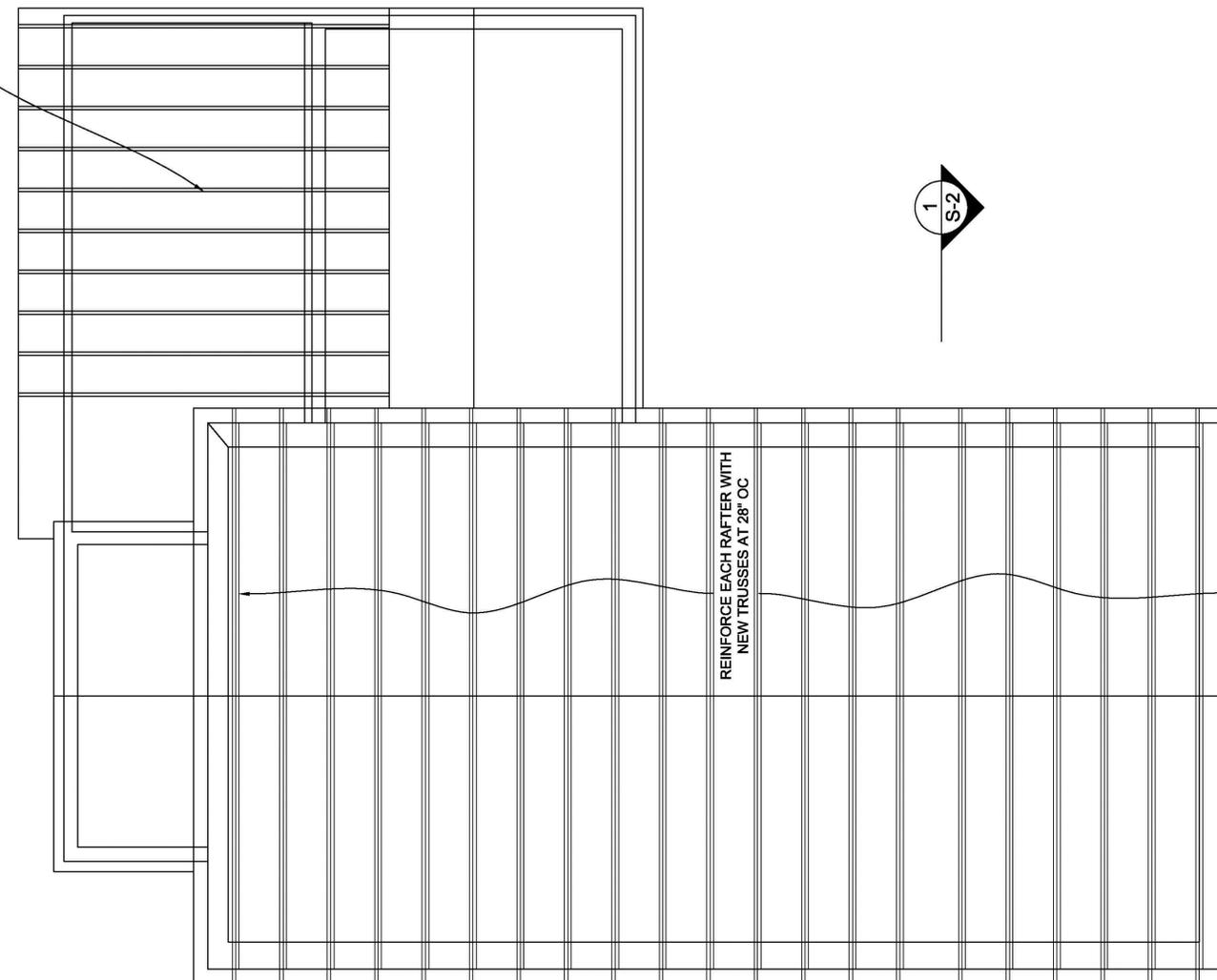
Drawing Number

A3.0

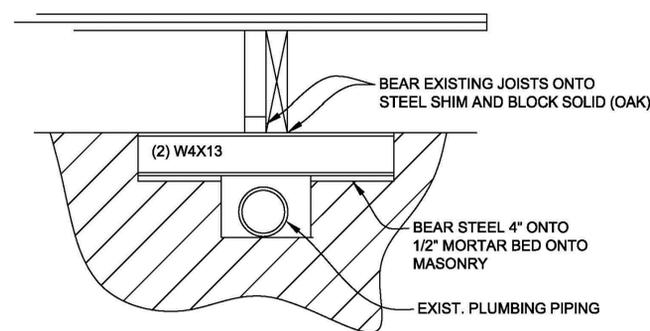
GENERAL STRUCTURAL NOTES

1. Coordination
Contractor shall be responsible for coordination of all work between the different trades. All openings, holes, sleeves, box outs, etc., shall be submitted for Architect/Engineer approval.
2. Existing Conditions
All existing conditions shall be verified by the contractor and any discrepancies with the contract documents shall be brought to the attention of the Architect/Engineer for resolution.
3. Codes
Design and construction shall conform to the IBC 2015 and to all local codes.
4. Loads
Design live loads are:
Wind 90 mph - 3 second gust
Ground Snow Load 30 psf
Roof per code for drifting(30 psf min.)
5. Lumber
 - a. Wood design and construction shall be in conformance with the latest adoption of the NFPA "National Design Specification."
 - b. Unless noted otherwise, Lumber shall be S.P.F. Canadian #2, KD 19%, equal or better, and shall be kept dry at the site, except pressure treated lumber shall be Southern Pine #2, or better, not to be treated with C.C.A., but shall be rated for use with ground contact. Lumber shall be KD 19% after treatment. All connectors for pressure treated lumber shall be approved for compatibility and approved by code. No splits, checks, or shakes are allowed in lumber for headers and beams.
 - c. Joists, beams and rafters not having direct bearing shall have properly sized 16 gage joists hangers manufactured by Simpson, u.n.o., on drawings. All connectors for pressure treated lumber shall be compatible and approved by code.
 - d. Glue shall be PL Premium polyurethane conforming to AFG-01 (all subfloors glued uno).
 - e. Prior to close-in framing shall be inspected by Engineer.
 - f. Posts shall be carried down to supporting beams, footings, or foundation walls. Where posts are interrupted by floor framing, solid end grain blocking shall be supplied for continuous bearing of posts.
 - g. Bolts shall be installed in compliance with "N.D.S." 1997 edition.
 - h. All roof trusses and rafters shall be anchored with simpson hold-down clips. In locations of hurricane winds of 90 mph or more, all exterior wall studs shall be anchored to the foundation using simpson straps, to meet or exceed local requirements.
 - i. Unless noted otherwise Subfloor shall be 3/4" T & G plywood, wall sheathing shall be 1/2" 4-ply plywood, and roof sheathing shall be 5/8" T & G plywood or with H-clips.
 - j. All sill plates shall be bolted with 1/2" diameter bolts per code requirements.
6. Temporary Shoring, and Bracing
 - a. Contractor shall be solely responsible for all temporary shoring, bracing, sequencing, and means and methods of construction.
 - b. Contractor is responsible for all precautions for safety.

CONTRACTOR---
VERIFY RAFTER SIZE AND SPACING
REPORT TO ARCHITECT AND ENGINEER
FOR RECOMMENDATIONS



ROOF FRAMING PLAN
1/4"=1'-0"



REPAIR DETAIL - AT BASEMENT
1.50"=1'-0"

Revisions

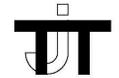
Drawing Title

Date: Oct. 19, 2016

OLD PARISH HOUSE
ROOF STRUCTURE REINFORCING

Drawing Number

S1.0

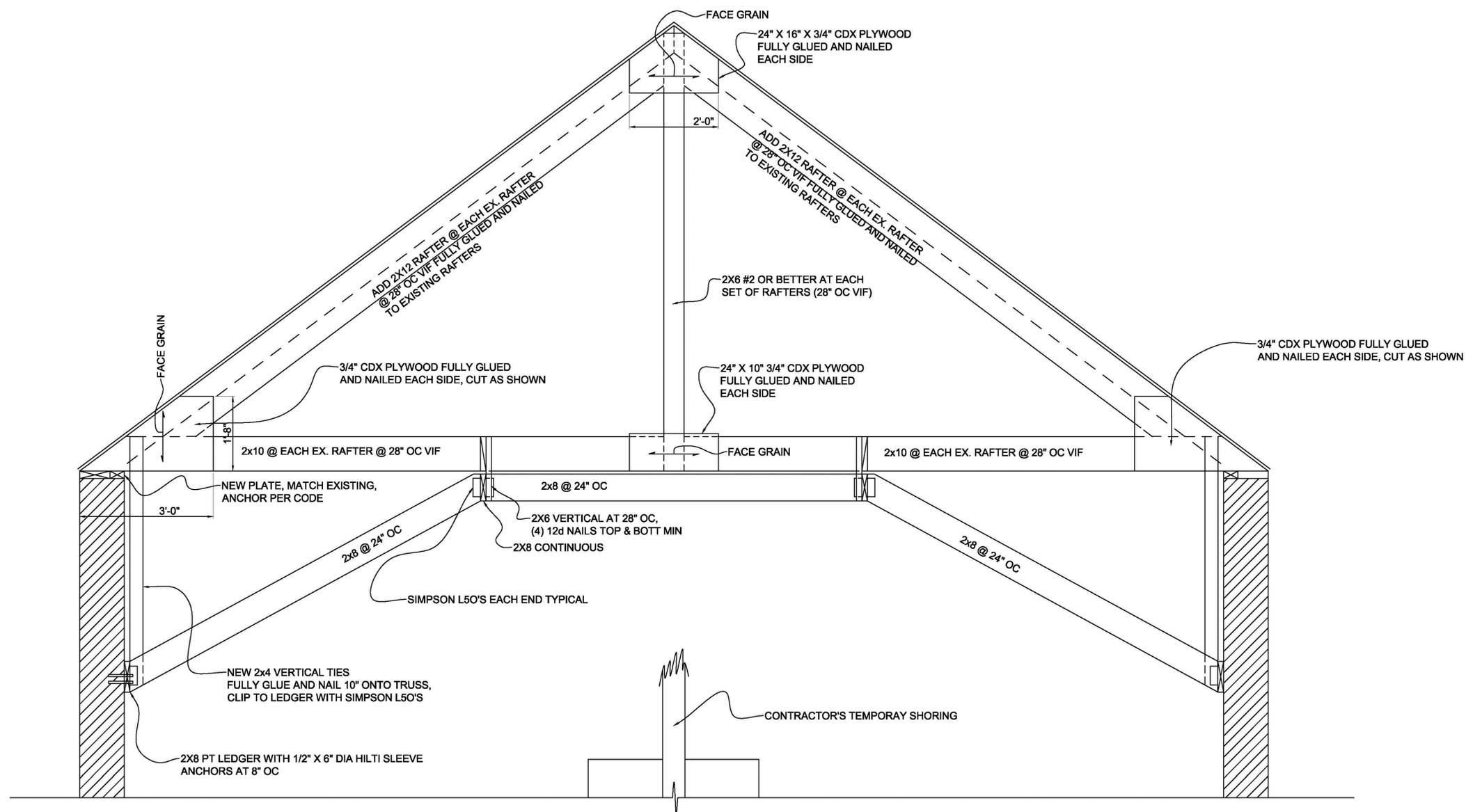


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Professional Certification.
I hereby certify that these
documents were prepared or
approved by me, and that I
am a duly licensed
professional engineer under
the laws of the State of
Maryland, License
No. 17267, Expiration Date:
2017-03-01.



SECTION THROUGH ROOF FRAMING - TYPICAL

3/4"=1'-0"

Revisions

Drawing Title

Date: Oct. 19, 2016

OLD PARISH HOUSE
ROOF STRUCTURE REINFORCING

Drawing Number

S2.0